

City of Nanaimo
REPORT TO COUNCIL

DATE OF MEETING: 2014-JUL-14

AUTHORED BY: GARY NOBLE, DEVELOPMENT APPROVAL PLANNER, PLANNING & DESIGN SECTION

RE: DEVELOPMENT PERMIT NO. DP886 – 6057 DOUMONT ROAD

STAFF'S RECOMMENDATION:

That Council authorize an amendment to Development Permit No. DP702 at 6057 Doumont Road to include the following variances:

- To reduce the front yard setback to 4.71m
- To reduce the rear yard setback to 5.17m
- To allow a projection of open decks into the side yards.

PURPOSE:

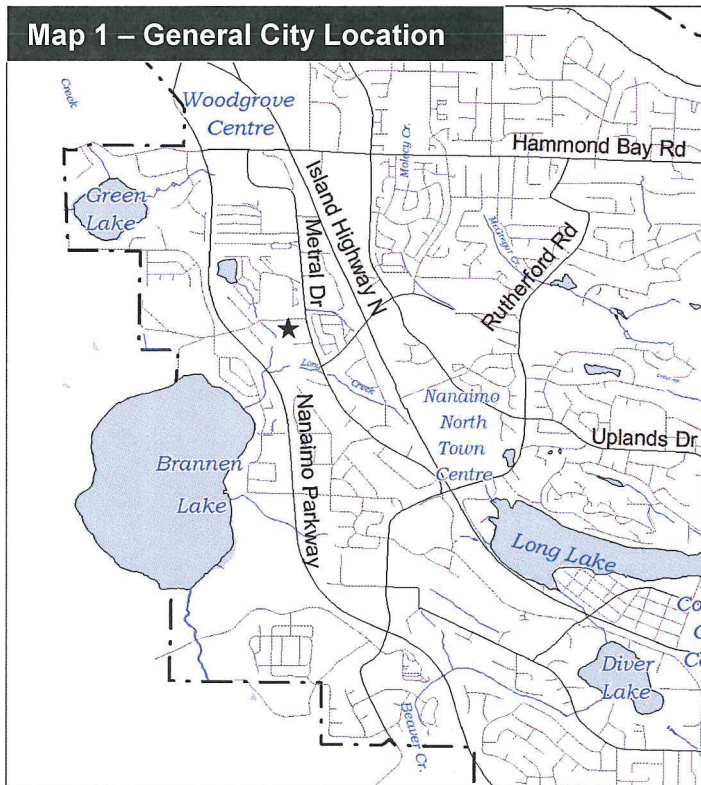
The purpose of this report is to seek Council authorization to issue an amendment to approved Development Permit No. DP702 issued 2011-FEB-28 in order to revise Phases 3 and 4 for the construction of 27 remaining multi-family units with one newly proposed variance.

BACKGROUND:

A development permit application was received from MR. LEIF ROSVOLD on behalf of PVP HOLDINGS CORP.

Staff supports the proposed variance.

The Design Advisory Panel did not review the proposed amendment request as Staff is of the opinion the form and character previously approved has not fundamentally changed.



- Council
- Committee
- Open Meeting
- In-Camera Meeting

Meeting Date: 2014-Jul-14

Subject Property

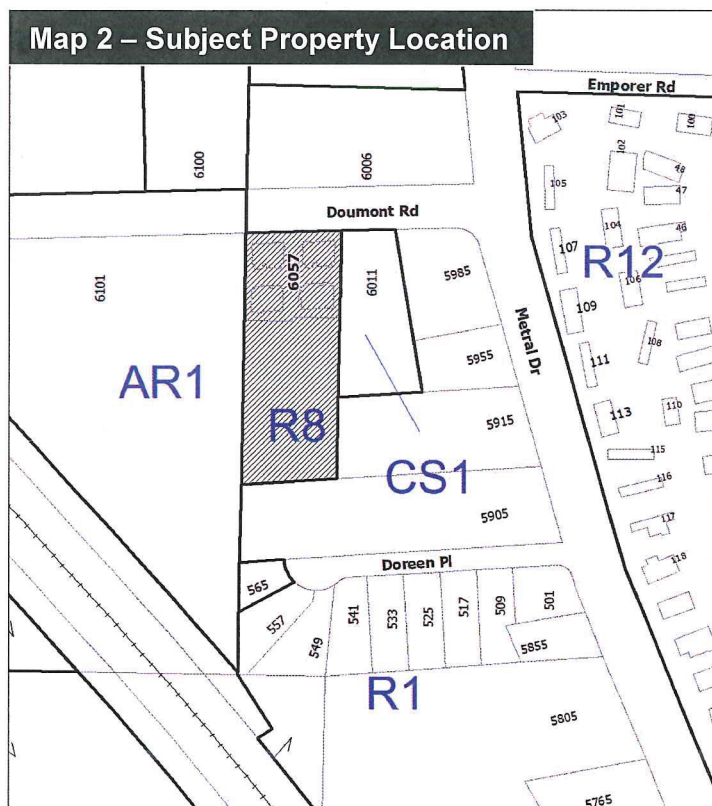
Zoning	R8 – Medium Density Residential
Location	The subject property is located on the south side of Doumont Road, three lots from the Doumont/Metral Drive intersection. Pleasant Valley Park is directly across from the subject property on the north side of Doumont Road.
Total Area	5,042.2m ²
Official Community Plan (OCP)	Map 1 – Future Land Use Plan – Corridor; Map 3 – Development Permit Area DPA No. 9 – Commercial, Industrial, Institutional, Multiple Family and Mixed Commercial/Residential Development

DISCUSSION:

Development Permit No. DP702 for a 41 unit, townhouse development was approved by Council 2011-FEB-28. The approved development permit has six variances which were considered under BYLAW NO. 4000, including:

1. Reduce the required front yard to 4.71m from 7.5m
2. Reduce the required rear yard to 5.17m from 10.5m
3. Reduce the required parking to 64 parking spaces from 68 parking spaces
4. Reduce the amenity area to 3.9% from 10%
5. Reduce the size of the open space, recreational area to 20m from 75m
6. Increase lot coverage to 47% from 40%.

To date, the applicant has completed 4 building clusters as illustrated in Phases 1 and 2.



Under the proposed amendment to the Development Permit, Variances #1 and #2 are to remain intact. Variances #4 and #5 are no longer required for the subject property as the current City of Nanaimo "ZONING BYLAW 2011 NO. 4500" no longer features open space or amenity space calculations in the R8 zone. Variance #6, is also no longer required due to a reduction of building footprints, resulting in lot coverage under the current Bylaw maximums.

The applicant has decided to provide more openness to the development by making changes to Phases 3 and 4:

- 1 building cluster has been removed, leaving 3 building clusters instead of 4,
- 2 building clusters have reduced floor area,
- 3 small 29.0m² units have been added to the unit mix,
- 13 at-grade parking spaces have been added where a building cluster was to be sited.

With all the proposed adjustments in Phase 3, the overall unit count remains at the same maximum of 41 units. The building elevations of the 3 clusters in Phase 3 have been modified to accommodate the new unit mix and the reduced overall square footage. The approved form and character is maintained in the modified building form.

The building clusters along the east and west property lines in Phase 3 now have open decks on both the 1st and 2nd floors which project into the side yards. The 2nd floor open decks provide private outdoor spaces off the kitchens. The 1st floor open decks have replaced ground level patios to permit bioswale drainage gardens to have an uninterrupted drainage flow.

Additional Proposed Variance

- *Open Decks*

Open decks are not allowed to project into the side yards. Phase 3 building clusters, abutting the east and west property lines, now have open decks that project into the required side yard setbacks.

The required side yard setback is 3.0m. Along the west property line, open decks are located 1.61m and 2.39m from the property line. Along the east property line, open decks are located 2.6m and 2.0m from the property line.

The Strata Council has been approached by the applicant and has agreed to the proposed changes in Phases 3 and 4.

The open decks do not negatively impact privacy for abutting properties:

- 6101 Doumont Road is zoned AR1. A farm building is abutting the subject property where Phase 3 is to be constructed;
- 6011 Doumont Road is zoned CS1 with an at-grade parking lot abutting the subject property's east property line; and,
- 5919 Metral Drive (a large lot) also abuts the east property line, however it is not aligned with Phase 3. The single family dwelling on the subject property fronts Metral Drive and has a large backyard.

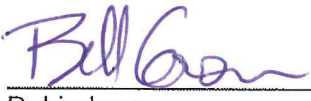
The revised landscape plan for Phase 3, with an emphasis on columnar trees, will add texture and a level of screening along the side yard property edges.

Respectfully submitted,

for 

B. Anderson
MANAGER
PLANNING & DESIGN SECTION

Concurrence by:

for 

D. Lindsay
DIRECTOR
COMMUNITY DEVELOPMENT



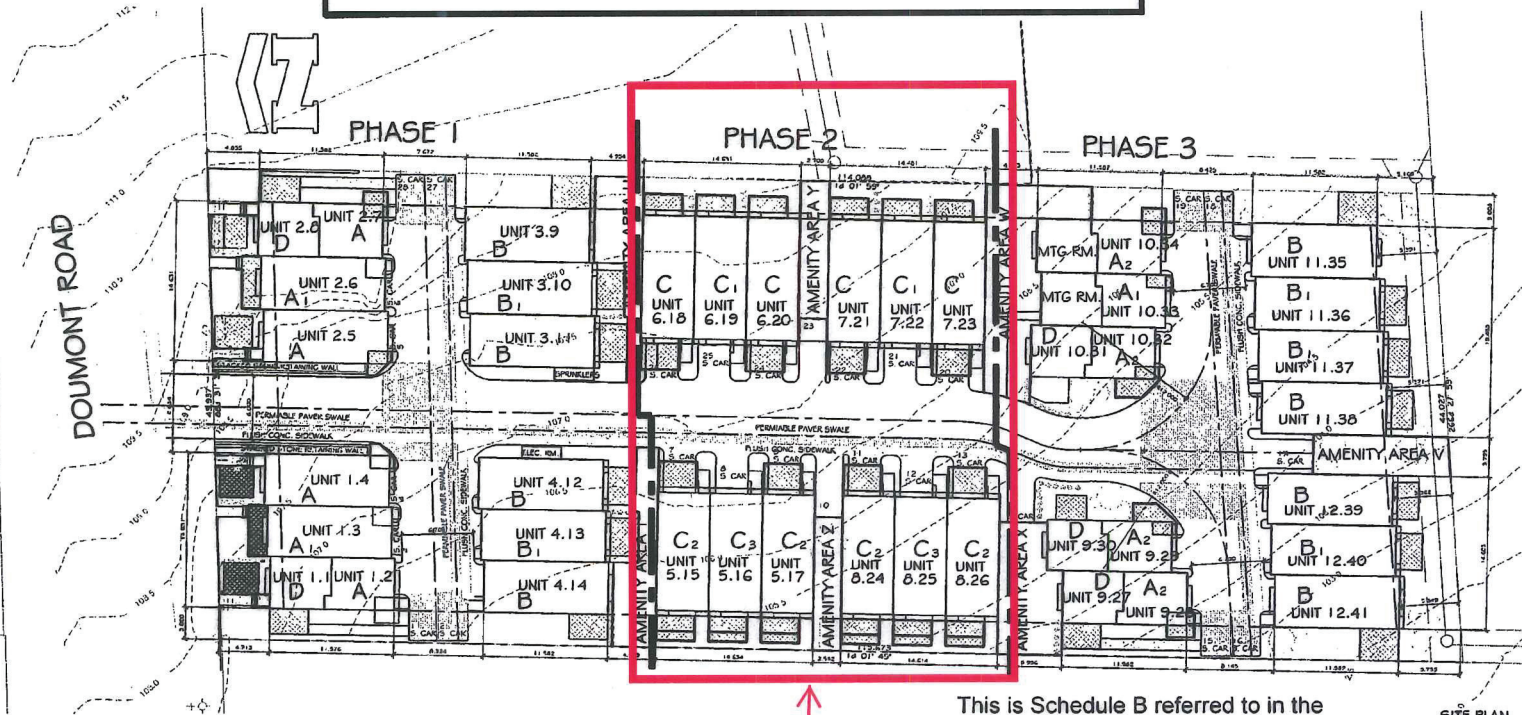
I. Howat
GENERAL MANAGER
CORPORATE SERVICES

CITY MANAGER COMMENT:

I concur with the staff recommendation.

Drafted: 2014-JUN-25
Prospero attachment: DP000886
GN/b

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REVISIONS

08OCT10	ISSUED FOR CLIENT REVIEW
09OCT10	CITY COMMENTS
30DEC10	ADP SUBMISSION
24DEC10	EXTRA PARKING
17JAN11	ADP COMMENTS
30JAN11	ADP COMMENTS



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41 Unit TOWNHOUSE
DESIGN FOR
0888242 B.C. Ltd.

DOUMONT ROAD
NANAIMO, B.C.

SITE PLAN

SCALE	1 : 200
DRAWN BY	CR
DATE	SEPT 10
PROJ. #	10-173
DWG. #	A1.1

This is Schedule B referred to in the Development Permit.

Phasing has changed for this application.
This is Phase 3

[Signature]
Manager of Legislative Services

2011-MAR-03
Date

ZONING ANALYSIS:

	REQUIRED	PROPOSED
LOT AREA	1800 m ²	5042.2 m ²
BLDG AREA		2263.0 m ²
PROPOSED USE	MULTI-FAMILY DWELLING	MULTI-FAMILY DWELLING
DENSITY	1.25 FSR	5060.7.2 m ² = 1.00 FSR
LOT COVERAGE	40 %	47 %
HEIGHT OF BLDGS	14 m	11.1 m
PARKING	41 x 1.66 CARS = 68 CARS	36 x 1.66 CARS = 59 CARS 5 x 1 CAR = 5 CARS 64 CARS
AMENITY SPACE	10% OF SITE = 504.2 m ²	488.7 m ² 15.5 m ² UNDER

UNIT COUNT

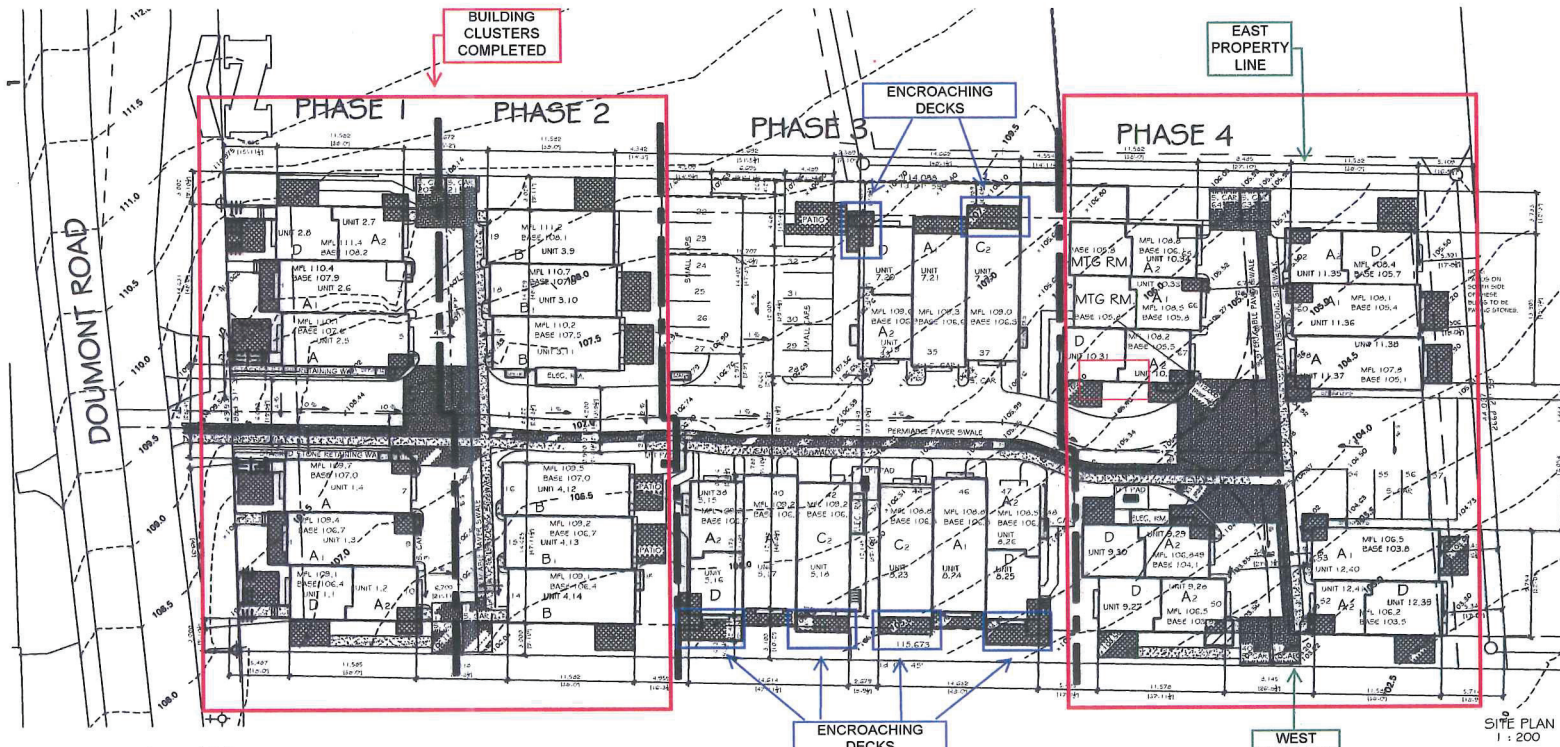
UNIT	SIZE	No of UNITS	BLDG AREAS	LOT COVERAGE	FLOOR AREA
UNIT A	1228 sqft / 114.1 m ²	4	BLDG 1	176.2 m ²	366.8 m ²
UNIT A1	1204 sqft / 111.8 m ²	3	BLDG 2	176.0 m ²	366.8 m ²
UNIT A2	1228 sqft / 114.1 m ²	4	BLDG 3	176.0 m ²	451.8 m ²
UNIT B	1621 sqft / 150.6 m ²	7	BLDG 4	176.0 m ²	451.8 m ²
UNIT B1	1621 sqft / 150.6 m ²	5	BLDG 5	266.5 m ²	430.2 m ²
UNIT C	1544 sqft / 143.4 m ²	4	BLDG 6	213.0 m ²	430.2 m ²
UNIT C1	1544 sqft / 143.4 m ²	2	BLDG 7	213.0 m ²	430.2 m ²
UNIT C2	1544 sqft / 143.4 m ²	4	BLDG 8	266.5 m ²	430.2 m ²
UNIT C3	1544 sqft / 143.4 m ²	2	BLDG 9	127.9 m ²	281.8 m ²
UNIT D	289 sqft / 26.8 m ²	5	BLDG 10	185.7 m ²	366.8 m ²
		41	BLDG 11	234.5 m ²	602.4 m ²
			BLDG 12	175.9 m ²	451.8 m ²
			TOTAL	2387.2 m ²	5060.7 m ²

COMMON AMENITY AREAS

AMENITY AREA	SIZE
MTG ROOM	53.6 x 2 = 107.2 m ²
AREA T	53.0 m ²
AREA U	51.5 m ²
AREA V	34.0 m ²
AREA W	108.6 m ²
AREA X	67.7 m ²
AREA Y	34.3 m ²
AREA Z	32.4 m ²
TOTAL	488.7 m ²

PRIVATE AMENITY AREAS

DECKS & PATIOS	547.3 m ² = 11% OF SITE
DECKS ONLY	270.3 m ² = 5.4% OF SITE



ZONING ANALYSIS:

	REQUIRED	PROPOSED
LOT AREA	1800 m ²	5042.2 m ²
BLDG AREA		1878.4 m ²
PROPOSED USE	MULTI-FAMILY DWELLING	MULTI-FAMILY DWELLING
DENSITY	1.25 FSR	4152.0 m ² = .83 FSR
LOT COVERAGE	40 %	39 %
HEIGHT OF BLDGS	14 m	11.1 m
PARKING	41 x 1.6G CARS = 68 CARS	33 x 1.6G CARS = 55 CARS 8 x 1 CAR = 8 CARS 67 CARS
AMENITY SPACE	10% OF SITE = 504.2 m ²	488.7 m ² 15.5 m ² UNDER

UNIT COUNT

UNIT	SIZE	No of UNITS
UNIT A	1220 sqft / 114.1 m ²	3
UNIT A1	1204 sqft / 111.8 m ²	2
UNIT A2	1220 sqft / 114.1 m ²	12
UNIT B	1621 sqft / 150.6 m ²	8
UNIT B1	1621 sqft / 150.6 m ²	4
UNIT C	1544 sqft / 143.4 m ²	0
UNIT C1	1544 sqft / 143.4 m ²	0
UNIT C2	1544 sqft / 143.4 m ²	3
UNIT C3	1544 sqft / 143.4 m ²	0
UNIT D	289 sqft / 26.8 m ²	10
		41

BLDG AREAS

BLDG	LOT COVERAGE	FLOOR AREA
BLDG 1	189.3 m ²	366.8 m ²
BLDG 2	189.3 m ²	366.8 m ²
BLDG 3	176.0 m ²	451.8 m ²
BLDG 4	176.0 m ²	451.8 m ²
BLDG 5	209.8 m ²	396.1 m ²
BLDG 6		DELETED
BLDG 7	209.8 m ²	396.1 m ²
BLDG 8	209.8 m ²	396.1 m ²
BLDG 9	127.9 m ²	281.8 m ²
BLDG 10	185.7 m ²	366.8 m ²
BLDG 11	181.1 m ²	396.1 m ²
BLDG 12	123.2 m ²	281.8 m ²
TOTAL	1977.9 m ²	4152.0 m ²

COMMON AMENITY AREAS

AMENITY AREA	SIZE
MTG ROOM	53.6 x 2 = 107.2 m ²
AREA T	53.0 m ²
AREA U	51.5 m ²
AREA V	34.0 m ²
AREA W	108.6 m ²
AREA X	67.7 m ²
AREA Y	34.3 m ²
AREA Z	32.4 m ²
TOTAL	488.7 m ²

NOTE: Phase 4 changes to be considered in a future DP Amendment

REVISIONS

80CT10	ISSUED FOR CLIENT REVIEW
80CT10	CITY COMMENTS
80CC10	ADP SUBMISSION
80CC10	EXTRA PARKING
17JAN11	ADP COMMENTS
80JAN11	ADP COMMENTS
80CT12	REVISED SITE PLAN FOR CLIENT APPROVAL
80NOV12	REVISED SITE PLAN FOR PLANNING APPROVAL
GMAY14	REVISED SITE PLAN FOR PLANNING APPROVAL
4JUNE14	REVISED SITE PLAN FOR PLANNING APPROVAL
2JUNE14	REVISED SITE PLAN FOR PLANNING APPROVAL
4JUNE14	REVISED SITE PLAN
4JUNE14	REVISED SITE PLAN

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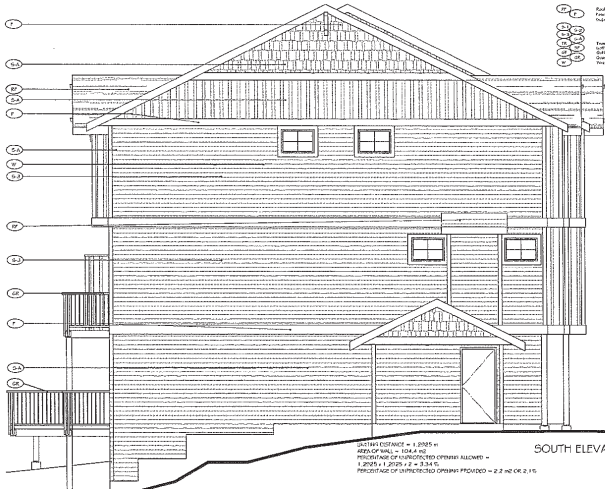
E-MAIL: ravenhill19@gmail.com

41 Unit TOWNHOUSE
DESIGN FOR
0888242 B.C. Ltd.

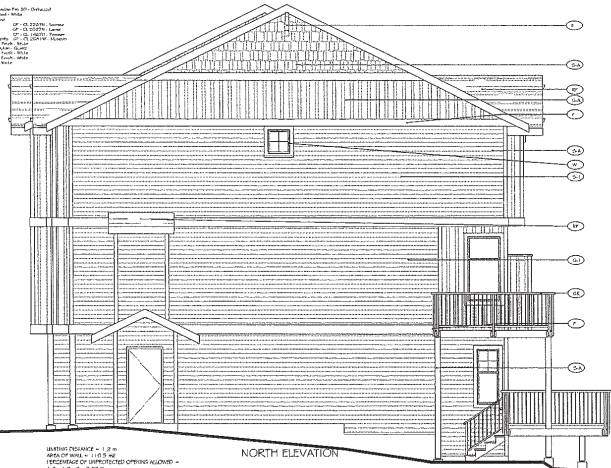
DOUMONT ROAD
NANAIMO, B.C.

SITE PLAN

SCALE: 1 : 200
DWG: CIR
DATE: SEPT '10
PROJ #: 10-173
DWG #: AP O. 1



SOUTH ELEVATION
 GUTTER HEIGHT = 1.805 m
 AREA OF WALL = 128.40 m²
 PERCENTAGE OF UNPROTECTED OPENING ALLOWED = 1.20% (1.20% OF 128.40 = 1.5408)
 PERCENTAGE OF UNPROTECTED OPENING PROVIDED = 2.24% (2.24% OF 128.40)



NORTH ELEVATION
 GUTTER HEIGHT = 1.8 m
 AREA OF WALL = 116.5 m²
 PERCENTAGE OF UNPROTECTED OPENING ALLOWED = 1.20% (1.20% OF 116.5 = 1.398)
 PERCENTAGE OF UNPROTECTED OPENING PROVIDED = 3.01% (3.01% OF 116.5)



EAST ELEVATION
 GUTTER HEIGHT = 1.2 m
 AREA OF WALL = 116.5 m²
 PERCENTAGE OF UNPROTECTED OPENING ALLOWED = 1.20% (1.20% OF 116.5 = 1.398)
 PERCENTAGE OF UNPROTECTED OPENING PROVIDED = 1.84% (1.84% OF 116.5)



WEST ELEVATION
 GUTTER HEIGHT = 1.8 m
 AREA OF WALL = 176.3 m²
 PERCENTAGE OF UNPROTECTED OPENING ALLOWED = 1.20% (1.20% OF 176.3 = 2.1156)
 PERCENTAGE OF UNPROTECTED OPENING PROVIDED = 2.47% (2.47% OF 176.3)

Client: Green/White Pk. 20 - 2000
 Location: 7 - 7th Ave
 Project No: 2000-01
 Date: 10/10/10
 Scale: 1/4" = 1'-0"
 Drawn: J. Smith
 Checked: M. Jones
 Title: Building Cluster Elevations
 Vty Number: 1001

ISSUED FOR BLDG PERMIT

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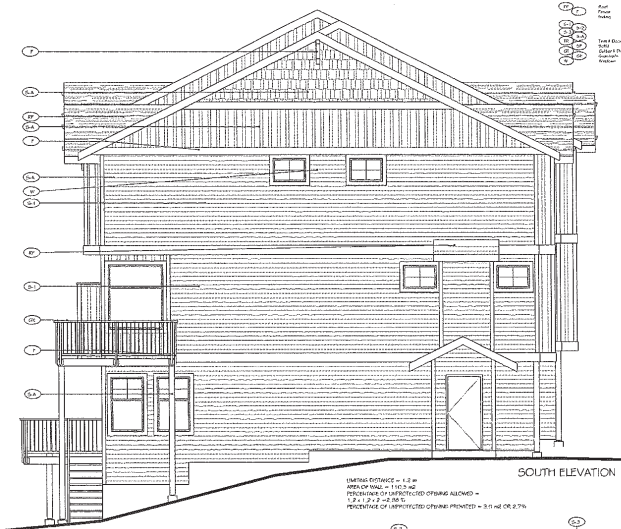
41 Unit TOWNHOUSE
 DESIGN FOR
 0888242 B.C. Ltd.

PHASE 3
 DOUMONT ROAD
 NANAIMO, B.C.

BLDG 5
 EX. ELEVATIONS
 SCALE: 1/4" = 1'-0"
 DWN: CJK
 DATE: APRIL 11
 PROJ #: 10-175
 DWG #: AP_1_3E

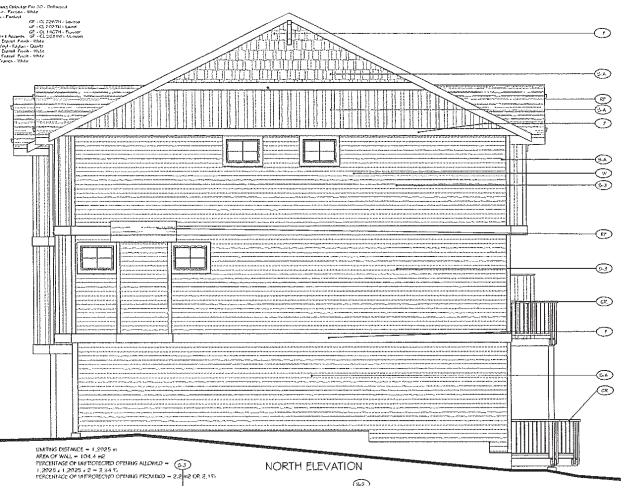
Development Permit DP000886
 6057 Doumont Road

Schedule C
Building Cluster Elevations
 (Northwest Corner of Phase 3)



SOUTH ELEVATION

LIMITING DISTANCE = 4.5 m
 AREA OF WALL = 111.34 m²
 PERCENTAGE OF UNFROSTED OPENINGS ALLOWED = 12.41% (2.12 m² OF O.S.)
 PERCENTAGE OF UNFROSTED OPENINGS PROVIDED = 31.42% OR 8.7%



NORTH ELEVATION

LIMITING DISTANCE = 1.8105 m
 AREA OF WALL = 124.4 m²
 PERCENTAGE OF UNFROSTED OPENINGS ALLOWED = 22.82% (2.83 m² OF O.S.)
 PERCENTAGE OF UNFROSTED OPENINGS PROVIDED = 22.82% OR 2.1%



EAST ELEVATION

LIMITING DISTANCE = 0.740 m
 AREA OF WALL = 116.84 m²
 PERCENTAGE OF UNFROSTED OPENINGS ALLOWED = 0.76% (4.705 m² OF O.S.)
 PERCENTAGE OF UNFROSTED OPENINGS PROVIDED = 10.42% OR 13.9%



WEST ELEVATION

LIMITING DISTANCE = 0.710 m
 AREA OF WALL = 145.3 m²
 PERCENTAGE OF UNFROSTED OPENINGS ALLOWED = 2.34% (2.1 m² OF O.S.)
 PERCENTAGE OF UNFROSTED OPENINGS PROVIDED = 24.12% OR 17.1%

Arch: Ravenhill Associates Inc. (R.A.)
 Project: 6057 Doumont Road
 Client: B.C. Hydro
 Date: 2013
 Scale: 1/4" = 1'-0"
 Drawing: 110-06-155-STR-01
 Title: Building Cluster Elevations
 Author: J. Smith
 Check: J. Smith
 Date: 2013

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 DESIGN FOR
 O888242 B.C. Ltd.

PHASE 3
 DOUMONT ROAD
 NANAIMO, B.C.

BLDG 8
 EX. ELEVATIONS
 SCALE: 1/4" = 1'-0"
 DIA. CTR.
 DATE: APRIL 11
 PROJ # 10-173
 DWG # A4.7

Development Permit DP000886
 6057 Doumont Road

Schedule D
Building Cluster Elevations
 (Southwest Corner of Phase 3)



SOUTH ELEVATION

LIMITED DISTANCE = 1.2 m
 AREA OF WALL = 106.2 m²
 PERCENTAGE OF UNPROTECTED OPENING ALLOWED = 1.2 x 1.2 = 1.44 m²
 PERCENTAGE OF UNPROTECTED OPENING PROVIDED = 2.0 m² OR 2.4%



NORTH ELEVATION

LIMITED DISTANCE = 1.2 m
 AREA OF WALL = 106.2 m²
 PERCENTAGE OF UNPROTECTED OPENING ALLOWED = 1.2 x 1.2 = 1.44 m²
 PERCENTAGE OF UNPROTECTED OPENING PROVIDED = 2.0 m² OR 2.4%



EAST ELEVATION

LIMITED DISTANCE = 3.0 m
 AREA OF WALL = 120.0 m²
 PERCENTAGE OF UNPROTECTED OPENING ALLOWED = 3 x 3 = 9 m²
 PERCENTAGE OF UNPROTECTED OPENING PROVIDED = 22.7 m² OR 17.2%



WEST ELEVATION

LIMITED DISTANCE = 3.0 m
 AREA OF WALL = 120.0 m²
 PERCENTAGE OF UNPROTECTED OPENING ALLOWED = 3 x 3 = 9 m²
 PERCENTAGE OF UNPROTECTED OPENING PROVIDED = 22.7 m² OR 17.2%

REV	DATE	DESCRIPTION
01	10/10/19	ISSUED FOR PERMIT
02	10/10/19	ISSUED FOR PERMIT
03	10/10/19	ISSUED FOR PERMIT
04	10/10/19	ISSUED FOR PERMIT
05	10/10/19	ISSUED FOR PERMIT
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48	10/10/19	ISSUED FOR PERMIT
49	10/10/19	ISSUED FOR PERMIT
50	10/10/19	ISSUED FOR PERMIT

ISSUED FOR BLDG PERMIT

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41 Unit TOWNHOUSE
 DESIGN FOR
 0888242 B.C. Ltd.

PHASE 3

DOUMONT ROAD
 NANAIMO, B.C.

BLDG 7
 EX. ELEVATIONS
 SCALE: 1/4" = 1'-0"
 DES: CIR
 DATE: APRIL 11
 PROJ. #: 10-173
 DRGA: A3.7

Development Permit DP000886
 6057 Doumont Road

Schedule E

Building Cluster Elevations
 (along East Property Line abutting New Parking)

Building Cluster Elevations, Phase 4
(Building Clusters: 9, 10, 11 and 12)



EAST ELEVATION

LIMITING DISTANCE = 4.317 m
AREA OF WALL = 72.5 m²
PERCENTAGE OF UNPROTECTED OPENINGS ALLOWED = 40%
AS PER TABLE 3.2.3.1.C
PERCENTAGE OF UNPROTECTED OPENINGS PROVIDED = 4.4 #2 OR 0%

- RF Roof
 - F Facets
 - Siding
 - S-1 Scheme 1
 - S-2 Scheme 2
 - S-3 Scheme 3
 - TR Trim & Doors
 - SF Soffit
 - GT Gutter & Downpipes
 - OK Guardrails
 - W Windows
- Owens Corning Oakridge Pro 30 - Driftwood
 - Combiface Fir - Painted - White
 - Hardie plank - Painted
 - Scheme 1 GP - CL 2287N - Louisa
 - Scheme 2 GP - CL 2027N - Laurel
 - Scheme 3 GP - CL 1467N - Pioneer
 - Lowest Floor 4 Accents GP - CL 2681W - Museum
 - Baked Enamel Finish - White
 - Perf. Vinyl - Kaylan - Quartz
 - Baked Enamel Finish - White
 - Baked Enamel Finish - White
 - Vinyl Frames - White

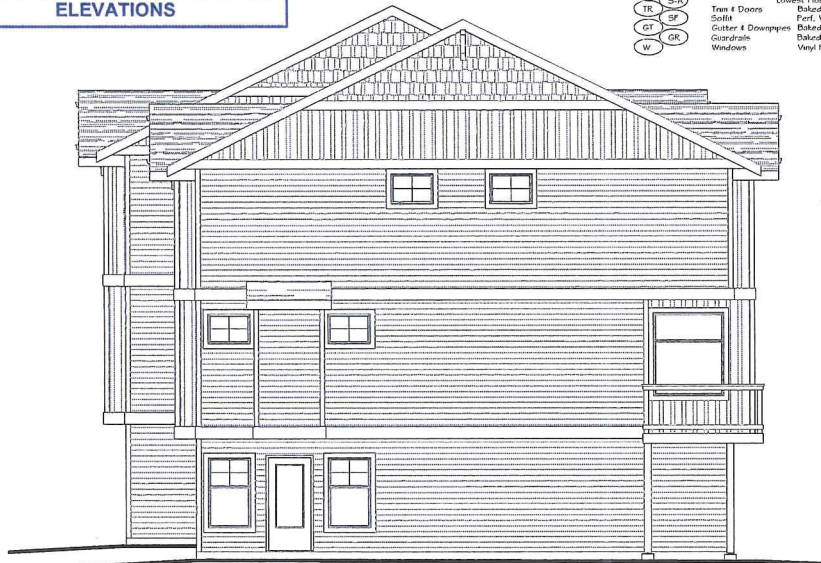


NORTH ELEVATION

LIMITING DISTANCE = 3.22 m
AREA OF WALL = 82.3 m²
PERCENTAGE OF UNPROTECTED OPENINGS ALLOWED = 26%
AS PER TABLE 3.2.3.1.C
PERCENTAGE OF UNPROTECTED OPENINGS PROVIDED = 14.5 #2 OR 17.2%

82

PHASE 4, BUILDING CLUSTER #9 ELEVATIONS



WEST ELEVATION

LIMITING DISTANCE = 3.0 m
AREA OF WALL = 77.3 m²
PERCENTAGE OF UNPROTECTED OPENINGS ALLOWED = 26%
AS PER TABLE 3.2.3.1.C
PERCENTAGE OF UNPROTECTED OPENINGS PROVIDED = 7.2 #2 OR 9%



SOUTH ELEVATION

LIMITING DISTANCE = 4.159 m
AREA OF WALL = 76.3 m²
PERCENTAGE OF UNPROTECTED OPENINGS ALLOWED = 36%
AS PER TABLE 3.2.3.1.C
PERCENTAGE OF UNPROTECTED OPENINGS PROVIDED = 12.3 #2 OR 15.0%

REVISIONS

8OCT10	ISSUED FOR CLIENT REVIEW
30ECL10	CITY COMMENTS
24DEC10	ADP SUBMISSION EXTRA PARKING
24DEC10	ISSUED FOR REVIEW
22MAY11	ISSUED FOR REVIEW
18AUG11	ISSUED FOR REVIEW
19JULY11	PHASE 3 - D.P.

ISSUED FOR BLDG PERMIT



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41 Unit TOWNHOUSE
DESIGN FOR
0888242 B.C Ltd.

DOUMONT ROAD
NANAIMO, B.C.

BLDG 9
EX. ELEVATIONS

SCALE: 1/4" = 1'-0"

DWN: CTR

DATE: JULY 11

PROJ. #: 10-173

DWG #: A1.G

RECEIVED 2014-
JUL-07

REVISIONS	
01	ISSUED FOR CLIENT REVIEW
02	CITY COMMENTS
03	ADP SUBMISSION
04	EXTRA PARKING
05	ISSUED FOR REVIEW
06	ISSUED FOR R.F.P.
07	PHASE 3 - B.F.
08	REVISED PHASE 4

ISSUED FOR BLDG PERMIT



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41 Unit TOWNHOUSE
 DESIGN FOR
 O888242 B.C. Ltd.

DOUMONT ROAD
 NANAIMO, B.C.

BLDG 10
 EX. ELEVATIONS

SCALE: 1/4" = 1'-0"

DWN: CTR.

DATE: JUNE '11

PROJ. #: 10-173

DWG #: A2.7



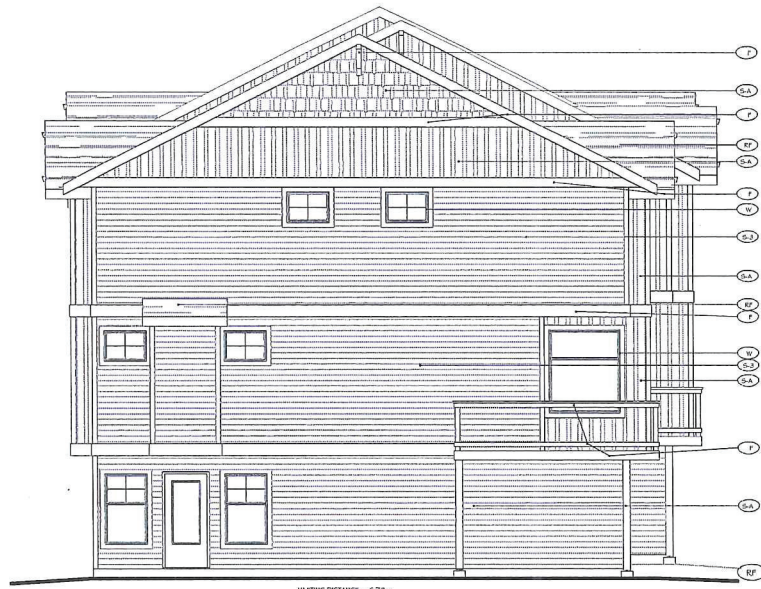
NORTH ELEVATION

Roof: Owens Corning Oslodge Pro 30 - Driftwood
 Fascia: Cambridge Fir - Painted - White
 Siding: Hardie plink - Painted

Scheme 1: CP - CL 2287N - Louisa
 Scheme 2: CP - CL 9327N - Laurel
 Scheme 3: CP - CL 1467N - Pioneer
 Lowest Floor Accents: CP - CL 2621W - Museum

Trim 4 Doors: Baked Enamel Finish - White
 Soffit: Perf. Vinyl - Kaytan - Quartz
 Gutter 4 Downspout: Baked Enamel Finish - White
 Guardsrails: Baked Enamel Finish - White
 Windows: Vinyl Frames - White

LIMITING DISTANCE = 3.1 m
 AREA OF WALL = 125.0 m²
 PERCENTAGE OF UNPROTECTED OPENINGS ALLOWED = 26%
 AS PER TABLE 3.2.3.1.C
 PERCENTAGE OF UNPROTECTED OPENINGS PROVIDED = 25.4 m² OR 22.7%



EAST ELEVATION

Roof: Owens Corning Oslodge Pro 30 - Driftwood
 Fascia: Cambridge Fir - Painted - White
 Siding: Hardie plink - Painted

Scheme 1: CP - CL 2287N - Louisa
 Scheme 2: CP - CL 9327N - Laurel
 Scheme 3: CP - CL 1467N - Pioneer
 Lowest Floor Accents: CP - CL 2621W - Museum

Trim 4 Doors: Baked Enamel Finish - White
 Soffit: Perf. Vinyl - Kaytan - Quartz
 Gutter 4 Downspout: Baked Enamel Finish - White
 Guardsrails: Baked Enamel Finish - White
 Windows: Vinyl Frames - White

LIMITING DISTANCE = 6.78 m
 AREA OF WALL = 25.6 m²
 PERCENTAGE OF UNPROTECTED OPENINGS ALLOWED = 28%
 AS PER TABLE 3.2.3.1.C
 PERCENTAGE OF UNPROTECTED OPENINGS PROVIDED = 7.2 m² OR 7.6%



SOUTH ELEVATION

Roof: Owens Corning Oslodge Pro 30 - Driftwood
 Fascia: Cambridge Fir - Painted - White
 Siding: Hardie plink - Painted

Scheme 1: CP - CL 2287N - Louisa
 Scheme 2: CP - CL 9327N - Laurel
 Scheme 3: CP - CL 1467N - Pioneer
 Lowest Floor Accents: CP - CL 2621W - Museum

Trim 4 Doors: Baked Enamel Finish - White
 Soffit: Perf. Vinyl - Kaytan - Quartz
 Gutter 4 Downspout: Baked Enamel Finish - White
 Guardsrails: Baked Enamel Finish - White
 Windows: Vinyl Frames - White

LIMITING DISTANCE = 4.1 m
 AREA OF WALL = 113.8 m²
 PERCENTAGE OF UNPROTECTED OPENINGS ALLOWED = 30%
 AS PER TABLE 3.2.3.1.C
 PERCENTAGE OF UNPROTECTED OPENINGS PROVIDED = 20.1 m² OR 17.7%



WEST ELEVATION

Roof: Owens Corning Oslodge Pro 30 - Driftwood
 Fascia: Cambridge Fir - Painted - White
 Siding: Hardie plink - Painted

Scheme 1: CP - CL 2287N - Louisa
 Scheme 2: CP - CL 9327N - Laurel
 Scheme 3: CP - CL 1467N - Pioneer
 Lowest Floor Accents: CP - CL 2621W - Museum

Trim 4 Doors: Baked Enamel Finish - White
 Soffit: Perf. Vinyl - Kaytan - Quartz
 Gutter 4 Downspout: Baked Enamel Finish - White
 Guardsrails: Baked Enamel Finish - White
 Windows: Vinyl Frames - White

LIMITING DISTANCE = 3.00 m
 AREA OF WALL = 99.1 m²
 PERCENTAGE OF UNPROTECTED OPENINGS ALLOWED = 26%
 AS PER TABLE 3.2.3.1.C
 PERCENTAGE OF UNPROTECTED OPENINGS PROVIDED = 7.8 m² OR 7.8%

PHASE 4, BUILDING CLUSTER #10 ELEVATIONS

RECEIVED 2014- JUL-07

- PF 1
- R
- S-1
- S-2
- S-3
- S-4
- TR
- OT
- CR
- W

Roof
Fence
Siding
Trim & Doors
Soffit
Gutter & Downspout
Guardrail
Window

Down: Gypsum Ceiling Pro 30 - Dotted
Composite Fr. - Painted - White
Hardie Plyk - Painted
Scheme 1
Scheme 2
Scheme 3
Lowest Floor 4 Accents

CP - CL 2207N - Louvers
CP - CL 2027N - Lintel
CP - CL 1457N - Recess
CP - CL 2021W - Mosaic

Baked Glazed Finish - White
Rust - Vinyl - Siding - Charcoal
Baked Glazed Finish - White
Baked Glazed Finish - White
Vinyl Frames - White



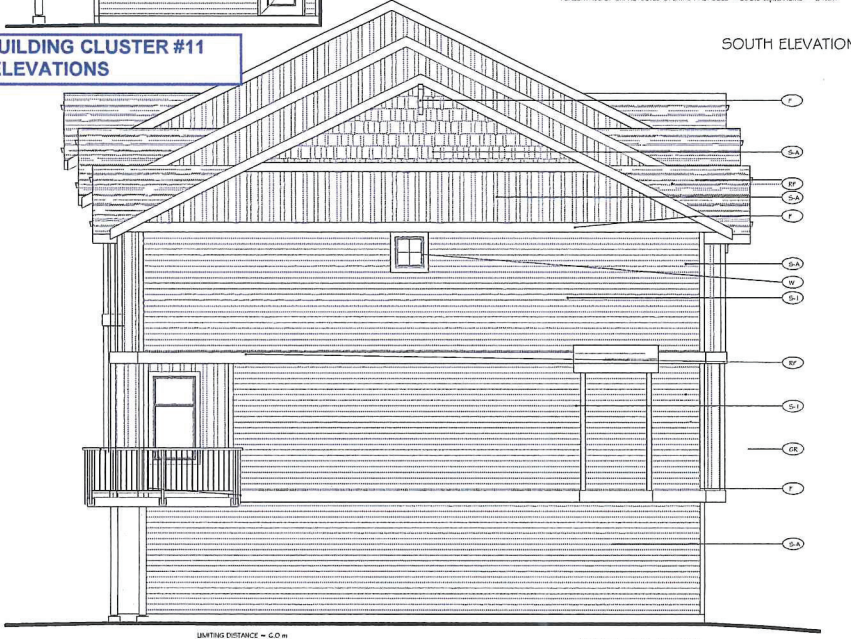
UNITING DISTANCE = 3.5 m
AREA OF WALL = 127.0 m²
PERCENTAGE OF UNPROTECTED OPENINGS ALLOWED = 50%
AS PER TABLE 3.2.3.1.1.0
PERCENTAGE OF UNPROTECTED OPENINGS PROPOSED = 336.5 ÷ 671.3m² = 24.6%

SOUTH ELEVATION



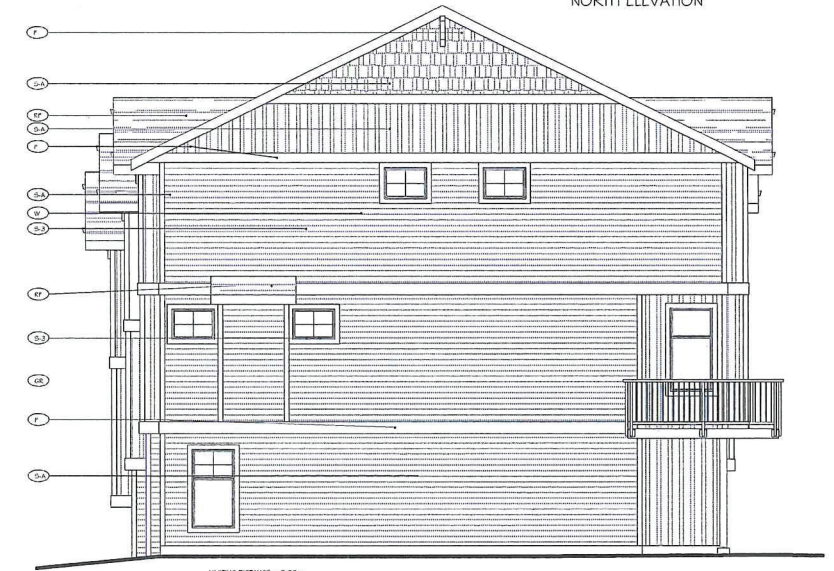
UNITING DISTANCE = 3.07 m
AREA OF WALL = 127.0 m²
PERCENTAGE OF UNPROTECTED OPENINGS ALLOWED = 30%
AS PER TABLE 3.2.3.1.1.0
PERCENTAGE OF UNPROTECTED OPENINGS PROPOSED = 270 ÷ 895.1m² = 19.7%

NORTH ELEVATION



UNITING DISTANCE = 6.0 m
AREA OF WALL = 110.9 m²
PERCENTAGE OF UNPROTECTED OPENINGS ALLOWED = 68%
AS PER TABLE 3.2.3.1.1.0
PERCENTAGE OF UNPROTECTED OPENINGS PROPOSED = 2.9 ÷ 4.1m² = 6.8%

WEST ELEVATION



UNITING DISTANCE = 3.00m
AREA OF WALL = 104.4 m²
PERCENTAGE OF UNPROTECTED OPENINGS ALLOWED = 26%
AS PER TABLE 3.2.3.1.1.0
PERCENTAGE OF UNPROTECTED OPENINGS PROPOSED = 62.5 ÷ 240.5m² = 5.4%

EAST ELEVATION

PHASE 4, BUILDING CLUSTER #11 ELEVATIONS

REVISIONS

2021.01.10	ISSUED FOR CLIENT REVIEW
2021.01.10	CITY COMMENTS
2021.01.10	ADD SUBMISSION
2021.01.11	ISSUED FOR REVIEW
2021.01.11	CITY COMMENTS
2021.01.11	PHASE 3 - B.P.
2021.07.14	PHASE 4 - REVISED

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41 Unit TOWNHOUSE
DESIGN FOR
0888242 B.C. Ltd.

DOUMONT ROAD
NANAIMO, B.C.

BLDG # 11
EX. ELEVATIONS

SCALE: 1/4" = 1'-0"

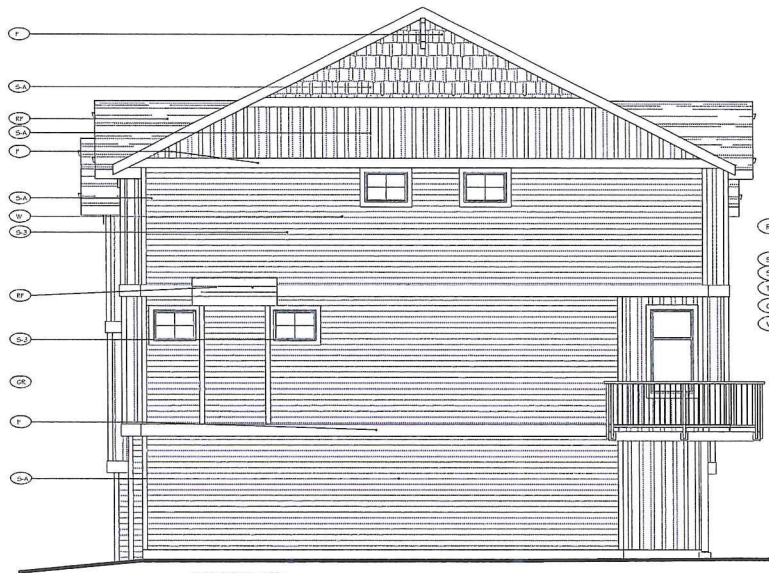
DWN: CTR

DATE: JULY '11

PROJ. #: 10-173

DWG #: A3.7

RECEIVED 2014 JUL-07



LIMITING DISTANCE = 3.00m
 AREA OF WALL = 104.4 m²
 PERCENTAGE OF UNPROTECTED OPENINGS ALLOWED = 26%
 AS PER TABLE 3.2.3.1.D
 PERCENTAGE OF UNPROTECTED OPENINGS PROPOSED = 34.54/103.2m² = 3.35%

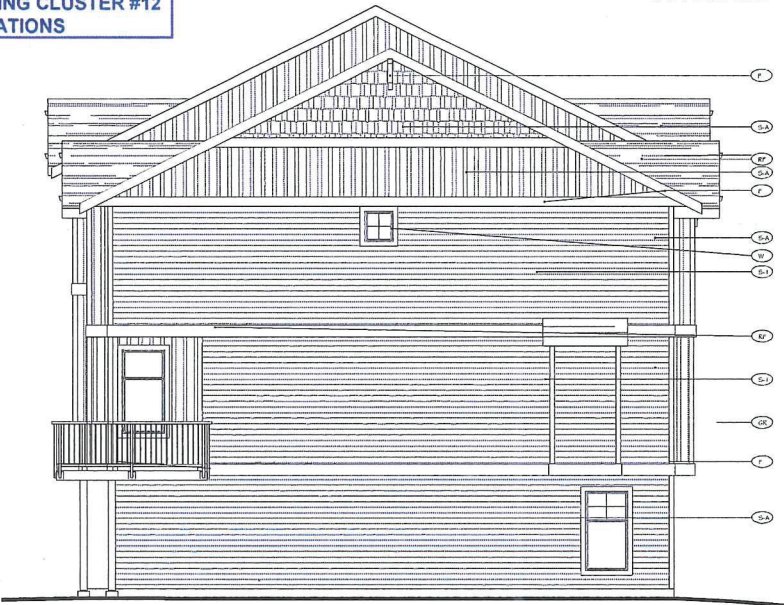
EAST ELEVATION

- RF Roof Owens Corning Dakwedge Pro 30 - Driftwood
- FR Fascia Corbridge Pv - Painted - White
- Siding Hardie plank - Painted
- S-1 Scheme 1 GP - CL 2287N - Louisa
- S-2 Scheme 2 GP - CL 2027N - Laurel
- S-3 Scheme 3 GP - CL 1467N - Pioneer
- TR Truss Lateral Floor & Access Baked Enamel Finish - White
- DR Double Post. Vinyl - Kipling - Quarry
- GT Gutter & Downspout Baked Enamel Finish - White
- GR Guardside Baked Enamel Finish - White
- OK Windows Vinyl Frames - White



LIMITING DISTANCE = 3.97 m
 AREA OF WALL = 214.5 m² (95.0 m²)
 PERCENTAGE OF UNPROTECTED OPENINGS ALLOWED = 42%
 AS PER TABLE 3.2.3.1.D
 PERCENTAGE OF UNPROTECTED OPENINGS PROPOSED = 160.54/117.7m² = 13.7%

NORTH ELEVATION



LIMITING DISTANCE = 3.0 m
 AREA OF WALL = 110.5 m²
 PERCENTAGE OF UNPROTECTED OPENINGS ALLOWED = 26%
 AS PER TABLE 3.2.3.1.D
 PERCENTAGE OF UNPROTECTED OPENINGS PROPOSED = 2.0 m² OR 1.8%

WEST ELEVATION



LIMITING DISTANCE = 5.24m m
 AREA OF WALL = 91.4 m² (39.0 m²)
 PERCENTAGE OF UNPROTECTED OPENINGS ALLOWED = 40%
 AS PER TABLE 3.2.3.1.D
 PERCENTAGE OF UNPROTECTED OPENINGS PROPOSED = 22.64/41.2m² = 24.9%

SOUTH ELEVATION

PHASE 4, BUILDING CLUSTER #12 ELEVATIONS

REVISIONS

08 OCT 10	ISSUED FOR CLIENT REVIEW
10 OCT 10	CITY COMMENTS
30 DEC 10	ADP SUBMISSION
24 FEB 11	ISSUED FOR REVIEW
23 MAR 11	ISSUED FOR B.P.
10 JULY 11	CITY COMMENTS
10 JULY 11	PHASE 3 - B.P.

ISSUED FOR BLDG PERMIT



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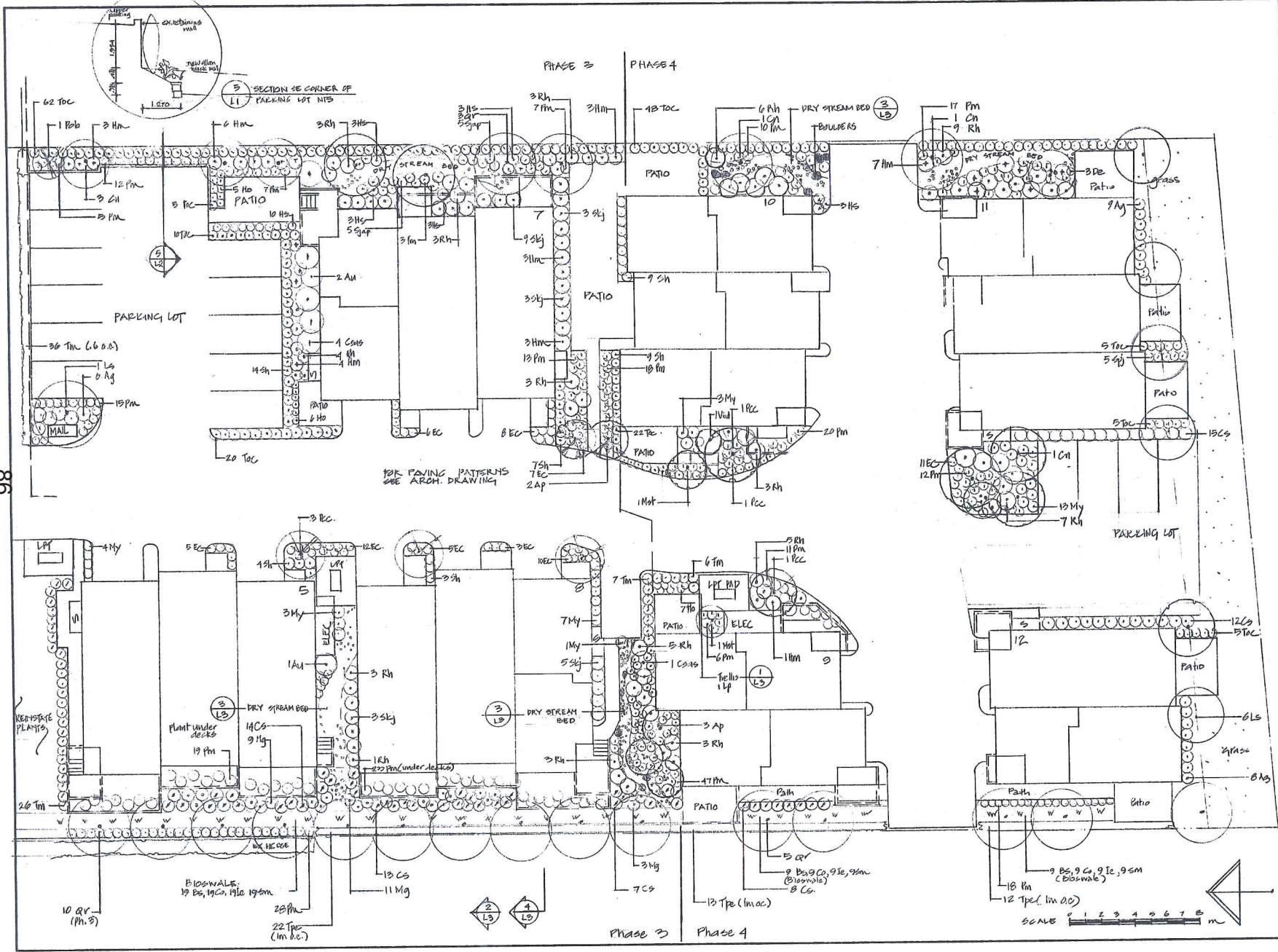
41 Unit TOWNHOUSE
 DESIGN FOR
 0588242 B.C. Ltd.

DOUMONT ROAD
 NANAIMO, B.C.

BLDG # 12
 EX. ELEVATIONS

SCALE: 1/4" = 1'-0"
 DWN: CTR
 DATE: JULY 11
 PROJ #: 10-173
 DWG #: A4.7

RECEIVED 2014 JUL-07



NOTE:
 SEE CIVIL DRAWINGS FOR GRADES
 SEE ARCH DRAWINGS FOR PAVING PATTERNS & LAYOUT DIMENSIONS
 PLNG L1 - Phase 1 & 2

DATE	REV	DESCRIPTION

LANDSCAPE ARCHITECT
 230 First St. Nanaimo, B.C. V9N 2B6
 250-794-4308
 victoria@landart.net

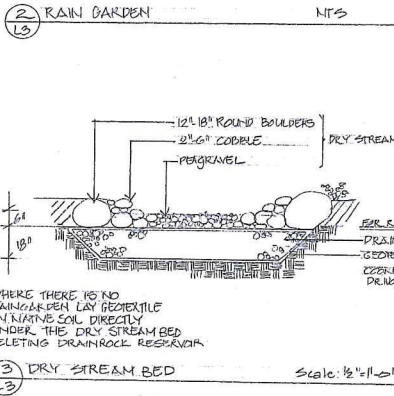
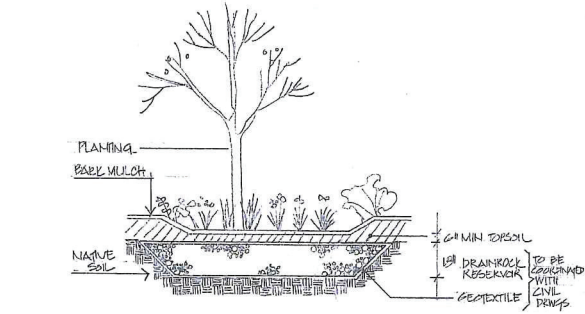
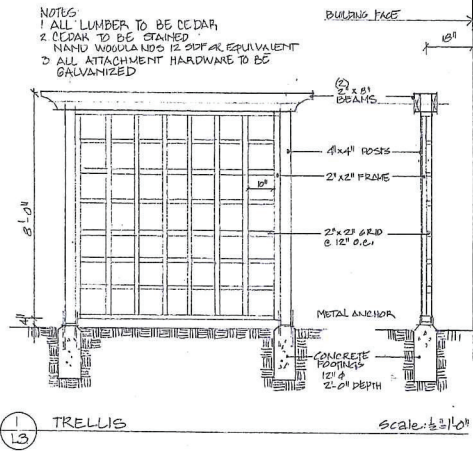
PROJECT
41 UNIT TOWNHOUSE
 BURNBENT ROAD NANAIMO

SHEET TITLE
LANDSCAPE PLAN PHASES 3 & 4

SCALE 1:20	DATE JULY 4/14
DRAWN VJD	CHECKED
PROJECT NUMBER B204001	PROJECT DATE 2014
DRAWING NUMBER L2/3	

Development Permit DP000886
 6057 Doumont Road

Schedule G
Landscape Plan



LANDSCAPE SPECIFICATIONS

GENERAL

- REFERENCES** for all Landscape work
 - BCSLA/BCNTA Landscape Standard, Latest Edition. The Landscape Contractor shall make him/herself aware of all prevailing standards referenced therein and execute work accordingly as it will govern all landscape preparations, execution and deliveries.
- PROTECTION OF EXISTING PLANT MATERIAL.** All plant material to be located as noted on the plan is to be preserved by tree retention fencing prior to demolition of existing site features.
- SITE CONDITIONS** Locations of all existing utilities are to be verified prior to installation of landscape. Refer to Civil engineering drawings (by others) and 'Call First' Line at 1 800 474 6886.
- SITE REVIEW MEETING** Landscape Contractor to provide seven days notice to landscape Architect prior to commencement of landscape site work to allow for site meeting and drawing review, especially regarding possible building architect change orders and non-conforming site conditions.
- GRADING**
 - It shall be the responsibility of the General Contractor to establish all sub-grades to allow for the levels, profiles and contours required on the landscape drawings.
 - Remove and dispose to approved off-site disposal area all debris, building material, contaminated subsoil, viable invasive plants and anything else that may interfere with proper growth and development of planned finished landscape.
 - The sub-grade shall be scarified to a minimum depth of 150mm immediately before placing growing medium or drainage material.
 - Grade transitions of sub-grade shall be smooth and even, such that ponding cannot occur on sub-grade surface.
 - Grade the sub-grade elevations to within the tolerances given below:
 - Rough grades to follow the depths below finished grades, 100mm for meadow areas, and 380mm for shrub and groundcover areas.
 - Rough grades to be sloped a minimum of 2% from buildings, unless otherwise specified.

GROWING MEDIUM

- All topsoil, imported or on-site soil, shall be tested and modified as required. When bidding a contractor must test the proposed soil and include the required modifications in the price for the work. Current soil analysis reports must be done and signed by a pre-approved analytical laboratory. A copy of the soil analysis must be sent to the Consultants office.
- Growing medium shall be placed at the following depths: 100mm (4") for lawn areas, 300 mm (12") for ornamental grasses and groundcovers and 450 mm (18") for shrubs, 300 mm (12") on sides and bottoms of root balls of trees.

PLANTING

- All plants and planting to be to BCSLA/BCNTA Standards, latest edition.
- Sod, where used, shall be nursery grown and conform to standards of the Nursery Sod Growers Association, including installation and short term maintenance guidelines. Apply minimum of 1/2" of water to turf within 1/4 hour of installation and rolling.
- Cut all cords and peel back or cut away B&B sodding, and trunk wrap.
- All trees and shrubs shall have a 1/2" high watering saucer formed around the top of the root ball to direct irrigation and rainwater into the root ball.
- All newly planted areas will be mulched with 2" minimum depth of bark mulch.
- The Landscape Contractor shall leave the work areas clean, tidy and safe on a daily basis.
- All plant materials shall be guaranteed in writing to the owner for one year against death due to unhealthy supply and/or improper installation conditions and/or wrong selection of species or variety of plants. One year period begins at date of landscape Contractor's final invoice.

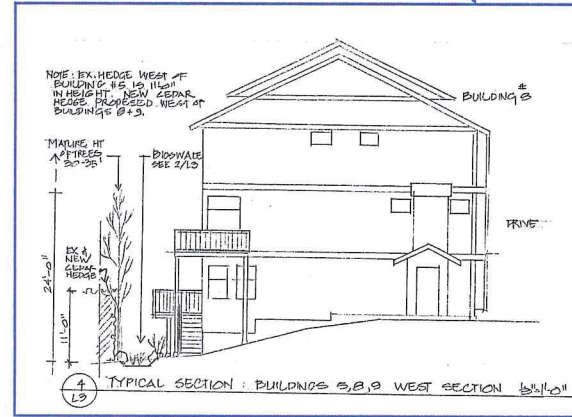
IRRIGATION

- The irrigation system is to be designed by Irrigation Contractor.
- All work to conform to the BC Plumbing Code as amended to installation date. All workmanship is to be to Irrigation Industry Association of BC (IIABC) Standards, latest edition.
- All points of connection to domestic water supply to be protected by a backflow prevention device that complies with the Plumbing Code.
- Select and size all irrigation equipment such that flow velocities do not exceed 5 fps (1.5m/sec).
- Pipe of 1" to be Class 160 PVC. Smaller sizes to be Class 200 PVC. All fittings to be Sched. 40 PVC.
- All crossings under pavement to be sleeved in SDR 35 pipe. Bed pipe with min. 100mm (4") sand under, to sides and above.
- Balance branched circuits to minimize critical circuit lengths and ensure even sprinkler performance.
- Supply/install commercial grade valves in lockable boxes. Do not install boxes within areas of high aesthetic attention such as feature paving beds, feature paving, etc. Ensure all boxes are level with surrounding grade.
- All sprinklers within a circuit to have matched precipitation rates and have integral check valves to prevent low-head drainage. Space sprinklers for head-to-head coverage. Provide as-built drawings and operations manual to Owner and review system with Owner.

Plant List

Key	Ph 1/2	Ph 3	Ph 4	Botanical Name	Common Name	Pot size	Remarks
TREES							
Ap	4	1	7	Acer palmatum	Japanese Maple	2m	Malformed
Cn	5	0	8	Cornus nuttallii 'Eddie's White Wonder'	Flowering Dogwood	4-5 cm cal	White spring, fall colour
Ls	10	1	9	Liquidambar styraciflua	Sweet Gum	6 cm cal	fall colour
Mat	0	0	2	Magnolia stellata	Star Magnolia	2m ht	White spring
Pcc		17		Pyrus calleryana	Ornamental Pear	4 cm cal	
Pob		3		Picea omorika bruns	Serbian Spruce	2m ht	
HEDGING							
Toc	65	110	39	Thuja occidentalis compacta	Pyramid Cedar	#2	Evergreen screening
Tp	0	11	11	Thuja plicata	Western Red Cedar	#2	Evergreen screening
SHRUBS							
Ag	39	12	11	Abelia grandiflora	Abelia	#1	Evergreen, pink flowers
Au	12	0	0	Arbutus unedo	Strawberry Trees	#1	Evergreen, red fruits
Bla	0	0	6	Barbarea thunbergii atropurpurea	Barberry	#1	Purple leaves
Caw	10	0	4	Cornelia sanguinea	Camelia	#1	Winter flowers evergreen
Cas	29	20	10	Cornus stolonifera	Red Twigged Dogwood	#1	Winter red stems
Esc	0	17	0	Erica carnea	Heather	#1	Winter flowering
Hm	55	20	10	Hydrangea macrophylla	Hydrangea	#1	Pink, blue summer flowering
Mn	75	0	0	Mahonia nervosa	Oregon grape	#1	Evergreen yellow spring
Mg	16	6	10	Myrica gale	Myrtle	#1	Grey fragrant foliage rain garden
Sh	3	33	15	Sarcococca humilis	Sweetbox	#1	White fragrant, evergreen
Rh	67	27	61	Rhododendron varieties	Rhodos	#1	3-4' varieties
Sp	16	14	25	Spirea japonica	Spirea	#1	Summer flowering
Stj	27	12	12	Stimma japonica	Skimmia	#1	White fragrant, evergreen
Vbd	0	0	1	Viburnum bodnantense dawn	Viburnum	#1	Winter pink fragrant
FERNS/GROUNDCOVERS							
Auu	30	0	0	Arctostaphylos uva-ural	Kinnikinnick	10 cm	Evergreen, cascading
Da	9	0	44	Dryopteris erythrosora	Autumn fern	#1	Evergreen, bronze new growth
Pm	234	159	224	Polystichum munitum	Sword Fern	#1	Evergreen
GRASSES/PERENNIALS							
Hs	31	14	38	Helleborus sempervirens	Blue Oat Grass	#1	
Ho	34	0	17	Helleborus orientalis	Lenten Rose	#1	Winter flowering
Mys	0	0	6	Miscanthus sinensis 'Morning Light'	Japanese Maiden Grass		Fall colour
CLIMBERS							
Car	4	0	0	Clematis armandii	Evergreen clematis		Evergreen, white early spring
Cm	2	0	0	C. montana 'Pink Perfection'	Hardy - fragrant		Flowers white or pink in May
Hp	0	0	6	Hydrangea petiolaris	Climbing Hydrangea	#5	Shade tolerant, white
Pq	2	0	0	Parthenocissus quinquefolia	Virginia Creeper	#1	Fall colour
Lb	12	0	6	Lonicera belgica	Honeysuckle		Fragrant
Wa	2	0	0	Wisteria sinensis	Wisteria	#5	Spring, fragrant
RAIN GARDENS							
Bs	10	19	18	Blechnum spicant	Deer Fern	#1	Evergreen
Co	10	19	18	Carex otopia	Sedge	plugs	Spring flowers
Je	10	19	18	Iris ensata	Iris	plugs	Spring flowers
Sm	10	19	18	Scirpus microcarpus	Small flowered bulrush	plugs	

Typical Cross Section for Building Clusters along East & West Property Lines



DATE	REV.	DESCRIPTION
11.14		Phase 3 and 4 re-submitted DRAFT
11.14		REVISED PHASES THREE
11.14		PHASE 1, AS BUILT KEY
11.14		PLANT LIST REVISED
11.14		PHASE 2, AS BUILT
11.14		PHASE 3, AS BUILT
11.14		PHASE 4, AS BUILT

CONSULTANT
VICTORIA DRAKEPOD
 B.Sc. M.Eng. BCSLA CMLA
 LANDSCAPE ARCHITECT
 236 Pine Street Nanaimo British Columbia
 V9B 2B5 Phone/Fax: (250) 754-4335

PROJECT
 41 UNIT
 TOWNHOUSE
 DOWMOUNT ROAD
 NANAIMO

SHEET TITLE
**LANDSCAPE
 DETAILS-PLANT
 LIST SPECIFICATIONS
 PAGE 1 of 2**

SCALE: AS SHOWN DATE: JUNE 11/11
 DRAWN: VJD CHECKED:
 PROJECT NUMBER: DOWMOUNT 2010
 DRAWING NUMBER: L2/13